

Certificate number: 1785995S

Water Commitments	Show on DA plans	Show on CO/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 59.25 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
<b>Thermal Performance and Materials commitments</b>			
<b>Simulation Method</b>			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
<b>Construction</b>			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m <sup>2</sup>	Insulation
floor - concrete slab on ground, waffle pod slab.	135	none
floor - suspended floor above open subfloor, particle board; frame: light steel frame.	2.7	not specified
floor - above habitable rooms or mezzanine, particle board; frame: light steel frame..	157.5	not specified
floor - suspended floor above garage, particle board; frame: light steel frame.	25.6	not specified
garage floor - concrete slab on ground, waffle pod slab.	31.1	none
external wall: brick veneer; frame: light steel frame.	152.4	fibreglass batts or roll+ foil/sarking
external wall: framed (fibre cement sheet or boards); frame: light steel frame.	50.7	fibreglass batts or roll+ foil/sarking
external garage wall: brick veneer; frame: light steel frame.	15.7	none
external garage wall: cavity brick; frame: no frame.	4	none
internal wall: plasterboard; frame: light steel frame.	194.6	none
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles , timber - H2 treated softwood.	237	ceiling: fibreglass batts or roll, roof: foil/sarking.

Glazing				
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.		✓	✓	✓
Frames		Maximum area - m2		
aluminium	49.6			
timber	0			
uPVC	0			
steel	0			
composite	0			
Glazing		Maximum area - m2		
single	49.6			
double	0			
triple	0			
Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.		✓	✓	✓
<b>Cooling system</b>				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 3 star (average zone)			✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 3 star (average zone)			✓	✓
<b>Heating system</b>				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 3.5 star (average zone)			✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 3.5 star (average zone)			✓	✓
<b>Ventilation</b>				
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: please select  Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off  Laundry: natural ventilation only, or no laundry, Operation control: n/a			✓ ✓ ✓	✓ ✓ ✓
<b>Artificial lighting</b>				
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
<b>Natural lighting</b>				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
<b>Other</b>				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	




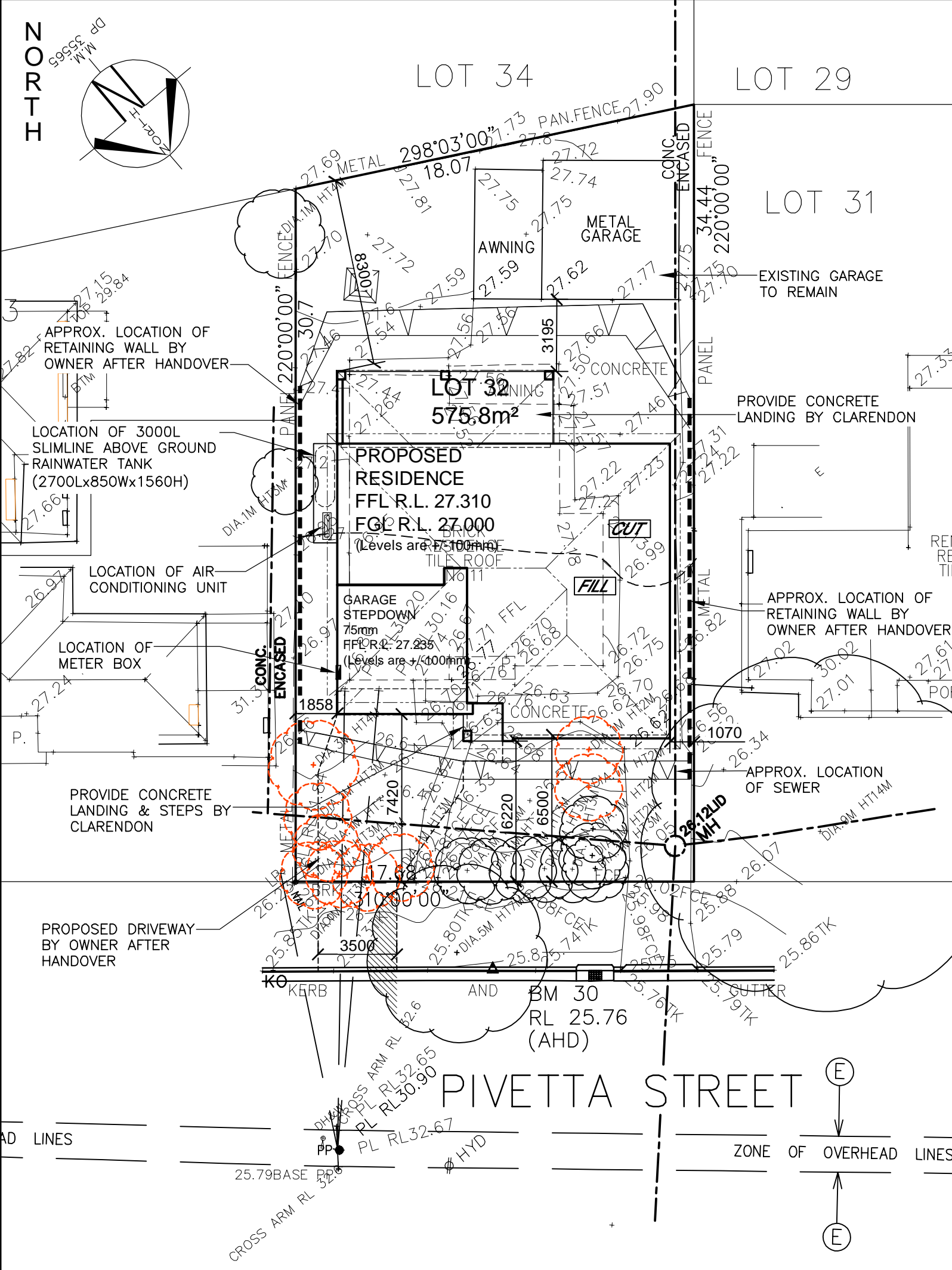
<u>AREAS</u>	
SITE:	575.80 m <sup>2</sup>
GROUND FLOOR:	150.48 m <sup>2</sup>
FIRST FLOOR:	176.96 m <sup>2</sup>
GARAGE:	33.82 m <sup>2</sup>
PORCH:	2.71 m <sup>2</sup>
BALCONY:	N/A m <sup>2</sup>
ALFRESCO:	30.59 m <sup>2</sup>
	m <sup>2</sup>
TOTAL:	394.56 m <sup>2</sup>

2.8	STREETCAPE PLAN
2.7	ELEVATION SHADOWS
2.6	ELEVATION SHADOWS
2.5	ELEVATION SHADOWS
2.4	SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
12	SLAB PLAN
11	WET AREA DETAILS
10	WET AREA DETAILS
9	FIRST FL ELECTRICAL LAYOUT
8	GROUND FL ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
<b>SHEET</b>	<b>DESCRIPTION</b>

QUOTE	DATE	QUOTE NUMBER	REV				
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EH1			-				
AIR CONDITIONING			-				
STAIRS			-				
LANDSCAPE				E	26.03.25	HYDRAULICS CO-ORDINATED	M.H.
HYDRAULICS				D	11.03.25	DA DRAWINGS	MJ
ENGINEER				C	21.02.25	CV-1	MTK
PEG OUT				B	06.02.25	CONTRACT DRAWINGS	MTK
				A	27.01.25	TENDER SITING	NI
T'S SIGNATURE: _____ DATE: _____				REV	DATE	AMENDMENTS	BY

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</p>	<p>PRODUCT:</p> <p><b>SARATOGA 44</b></p> <p><b>Classic</b></p> <p><b>L/H Garage</b></p> <p><b>LUXE</b></p> <p>Master Issued: 18.09.24      Revision: H</p>	<p>CLIENT:</p> <p><b>Mr. CHIEM</b> <b>Mrs. CHIEM</b></p>	<p><b>DA DRAWINGS</b></p>		
			<p>SITE ADDRESS:</p> <p><b>Lot 32, No. 11</b> <b>Pivetta Street</b> <b>REVESBY 2212</b></p>	<p>DRAWN:</p> <p><b>MTK</b></p>	<p>DATE:</p> <p><b>06.02.25</b></p>	<p>Rev:</p> <p><b>E</b></p>
			<p>RATIO @ A3:</p> <p><b>N/A</b></p>	<p>CHECKED:</p> <p><b>AL</b></p>	<p>SHEET:</p> <p><b>1</b></p>	



**LOT 32**  
**D.P: 35565**  
**L.G.A: CANTERBURY BANKSTOWN**

**SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023**

SITE AREA	575.8 m²
ROOF AREA	237.2 m²
FLOOR SPACE RATIO	
GROUND FLOOR:	132.3 m²
FIRST FLOOR:	153.2 m²
TOTAL LIVING AREA:	285.5 m²
(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)	
FLOOR SPACE RATIO:	49.6 %
MAX. ALLOWABLE BY COUNCIL:	50 %
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	256.8 m²
(EXCLUDES HARD SURFACES)	
MIN. REQUIRED BY COUNCIL:	45 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	158.3 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	80 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	9.0 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	237.2m²
DRIVEWAY/ PAVED ARE:	42.2m²
STRUCTURES TO REMAIN:	54.6m²
TOTAL:	334m²
	58 %
MAX SITE COVERAGE FOR OSD:	75%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	256.8 m²
(EXCLUDES HARD SURFACES)	
	44.6 %

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	M	ZONE 5

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED  
WHOLLY WITHIN PROPERTY BOUNDARY  
INCLUDING DRAINAGE AND FOOTINGS

**NOTE:**  
OWNER TO DEMOLISH & REMOVE FROM  
SITE EXISTING HOUSE, INCLUDING  
FOOTINGS & SERVICES ABOVE & BELOW  
GROUND, PATHS, DRIVE, TREES &  
FENCES ETC. PRIOR TO COMMENCEMENT  
OF CONSTRUCTION.

**STORMWATER TO  
STREET VIA  
RAINWATER TANK**  
REFER TO HYDRAULIC DETAILS

DENOTES TREES TO BE  
**REMOVED** BY OWNER  
PRIOR TO CONSTRUCTION

DENOTES TREES TO BE  
**PRUNED** BY OWNER PRIOR  
TO CONSTRUCTION

**SITE PLAN**  
SCALE 1:200  
GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED  
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION  
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
**SARATOGA 44**  
Classic  
L/H Garage  
  
**LUXE**

CLIENT:  
**Mr. CHIEM  
Mrs. CHIEM**  
SITE ADDRESS:  
**Lot 32, No. 11  
Pivetta Street  
REVESBY 2212**

DA DRAWINGS			
DRAWN: NI	DATE: 06.02.25	Rev: <b>E</b>	
RATIO @ A3: 1:200	CHECKED: NI		
SHEET: <b>2</b>	JOB No: <b>29917539</b>		
		<b>NSW</b>	

**REFER TO PAGE 7 FOR  
DRIVEWAY PROFILE**

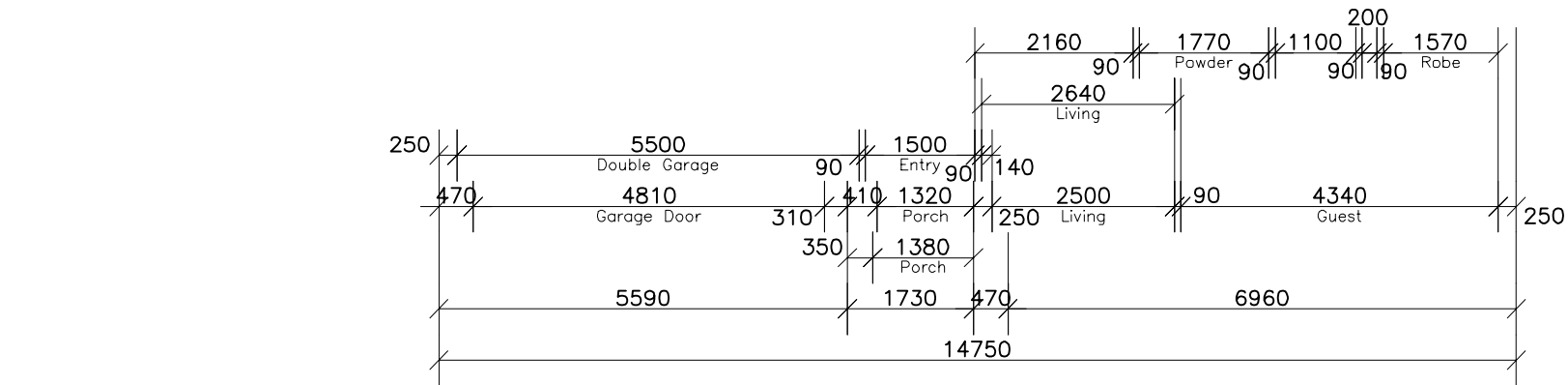
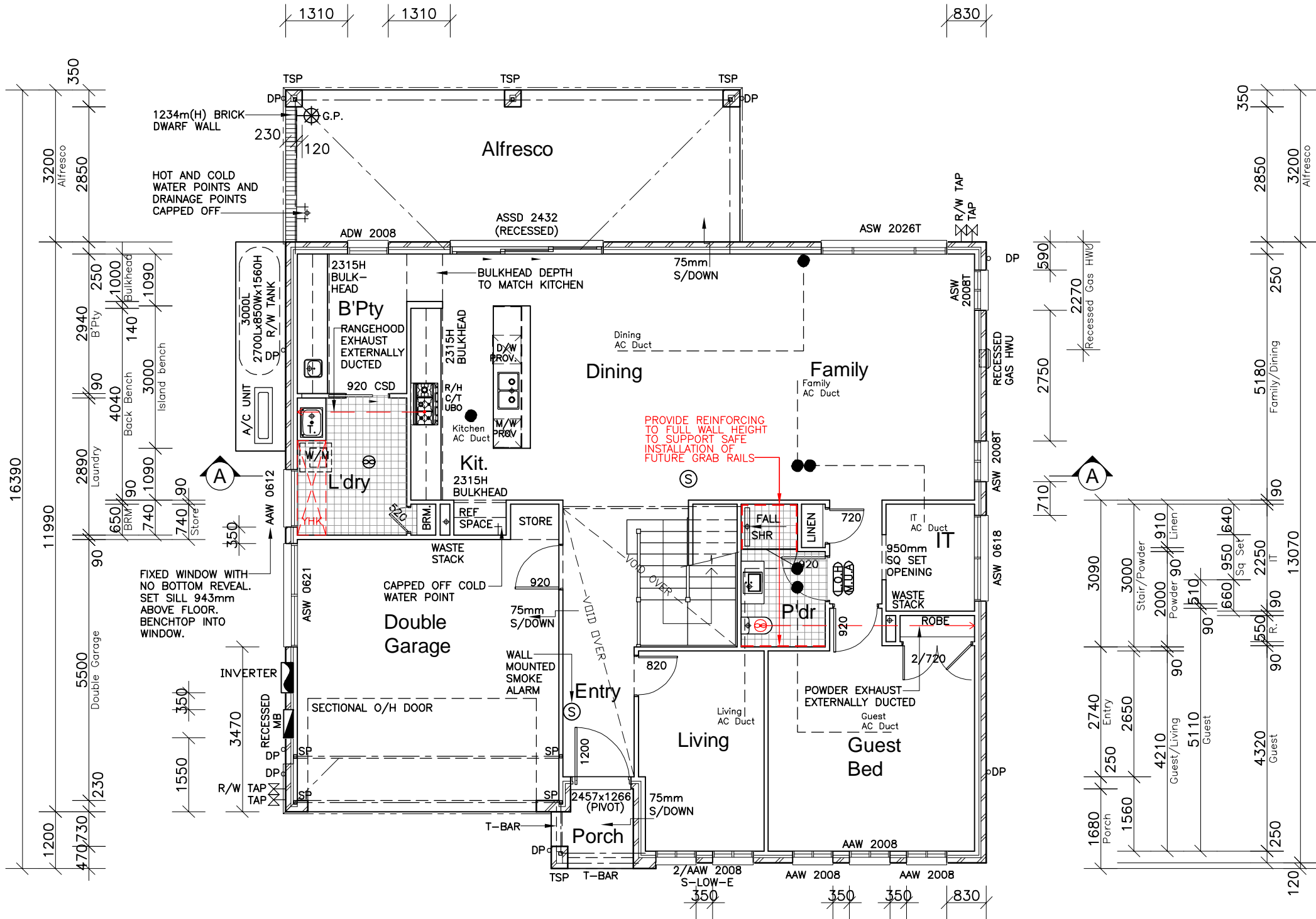
**\*\*B.O.S.\*\***  
(BUILDING OVER SEWER)  
**ORDER SEWER PEGOUT**



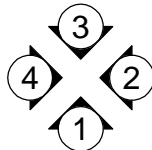
---	STRUCTURAL BEAM
SP	STEEL POST
TSP	TELESCOPIC STEEL POST
(S)	SMOKE ALARM
(E)	EXHAUST FAN
DP	DOWN PIPE
TAP	GARDEN TAP
(L.O.H)	LIFT OFF HINGES
(M.U.A)	MAKE-UP AIR VENT
(C.E.J)	CEILING EXPANSION JOINT
(E.F.W)	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
(L.F.W)	LINEAR FLOOR WASTE

● AIR CONDITIONING DUCT

NOTES
<ul style="list-style-type: none"><li>SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB</li><li>WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)</li><li>EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)</li><li>PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC</li><li>300 DEEP BULKHEADS &amp; SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)</li><li>INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)</li></ul>



SOLAR INCLUSION  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER



EPOXY FLOOR  
REFER TO SCHEDULE FOR  
GARAGE FLOOR FINISH

# GROUND FLOOR PLAN

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
SARATOGA 44  
Classic  
L/H Garage  
LUXE

CLIENT:  
Mr. CHIEM  
Mrs. CHIEM  
SITE ADDRESS:  
Lot 32, No. 11  
Pivetta Street  
REVESBY 2212

## DA DRAWINGS

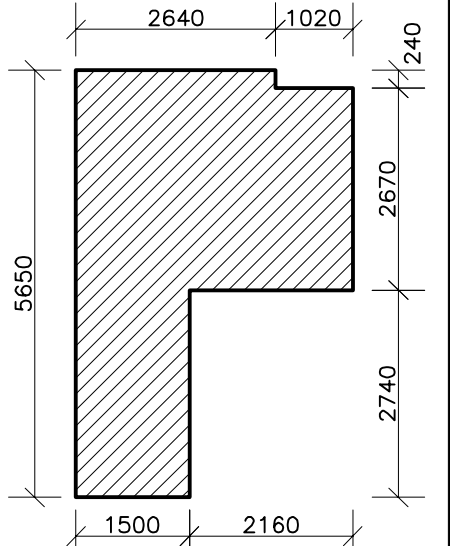
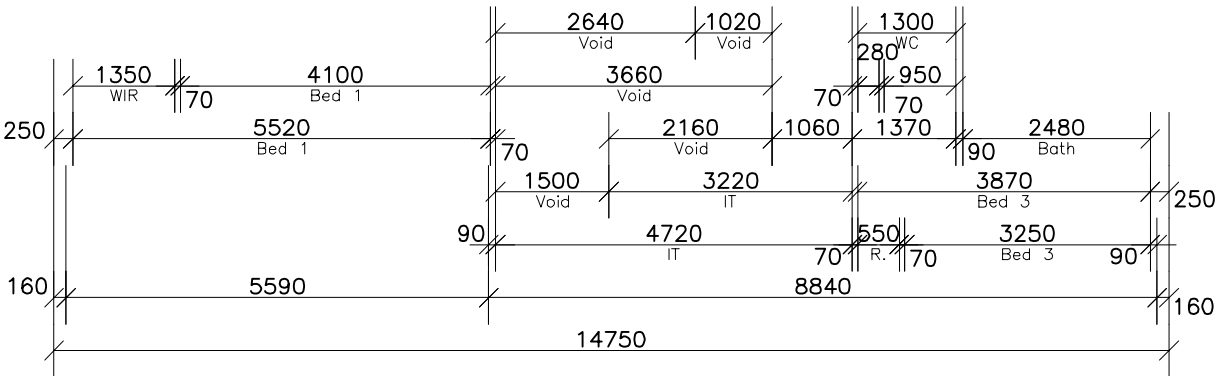
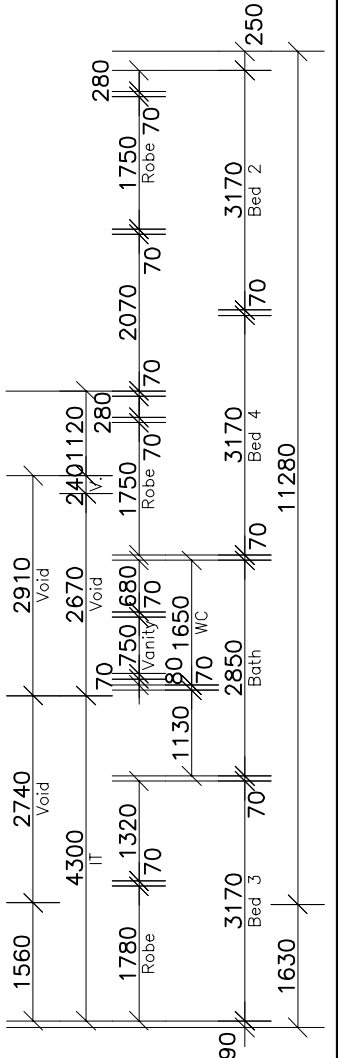
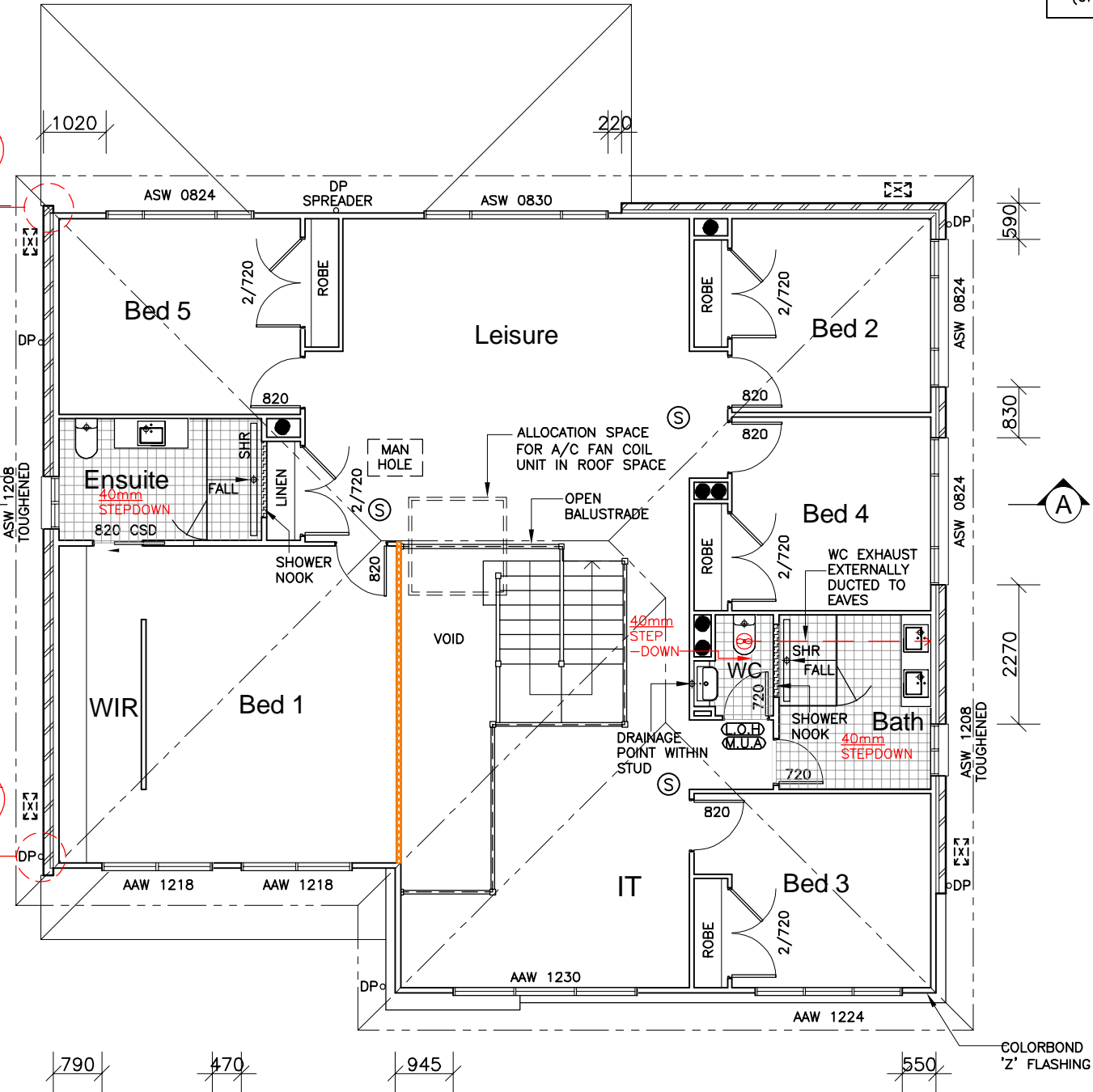
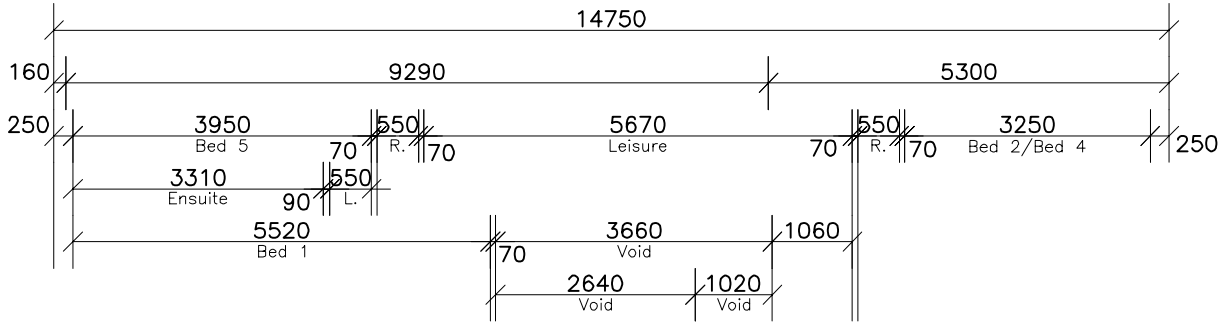
DRAWN: MTK	DATE: 06.02.25	Rev:
RATIO @ A3: 1:100	CHECKED: AL	E
SHEET: 3	JOB No: 29917539	NSW

	SMOKE ALARM
	EXHAUST FAN
DP ○	DOWN PIPE LOCATION
TAP	TELESCOPIC STEEL POST
	LIFT OFF HINGES
	MAKE-UP AIR VENT
	EAVE VENTS
	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
	LINEAR FLOOR WASTE
	LOAD BEARING WALLS

● AIR CONDITIONING DUCT

#### NOTES

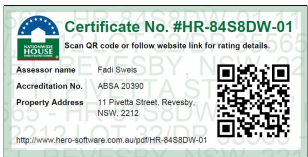
- WET AREAS – ALL WET AREAS TO FIRST FLOOR TO HAVE RECESSED JOISTS.
- WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
- BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
- WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
- WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
- EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
- PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
- 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)



**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

**NOTE:**  
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 11 FOR DETAILS

**SOLAR INCLUSION**  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER



## FIRST FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

# ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:

**SARATOGA 44**  
Classic  
L/H Garage

LUXE

CLIENT:

Mr. CHIEM  
Mrs. CHIEM

SITE ADDRESS:

Lot 32, No. 11  
Pivetta Street  
REVESBY 2212

#### DA DRAWINGS

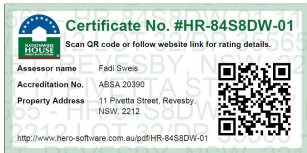
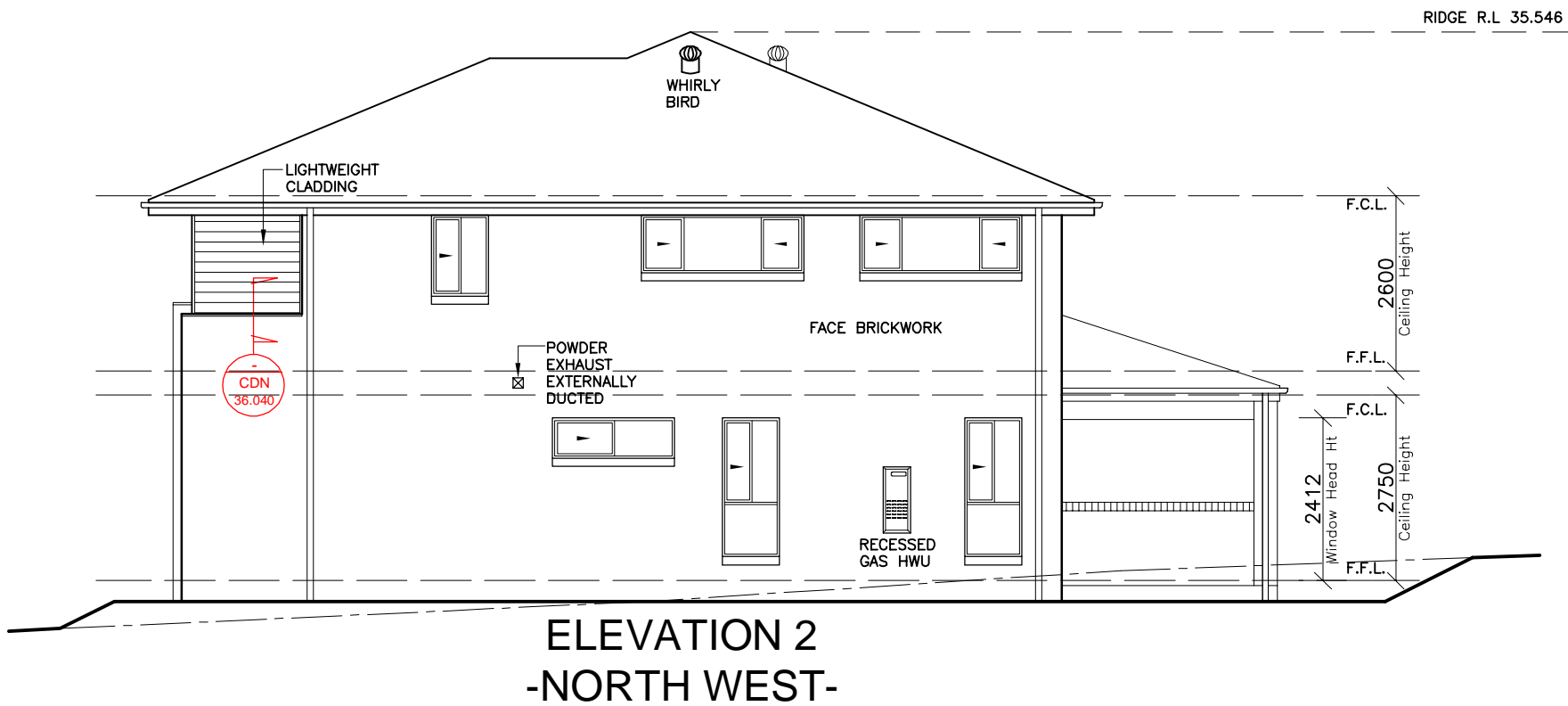
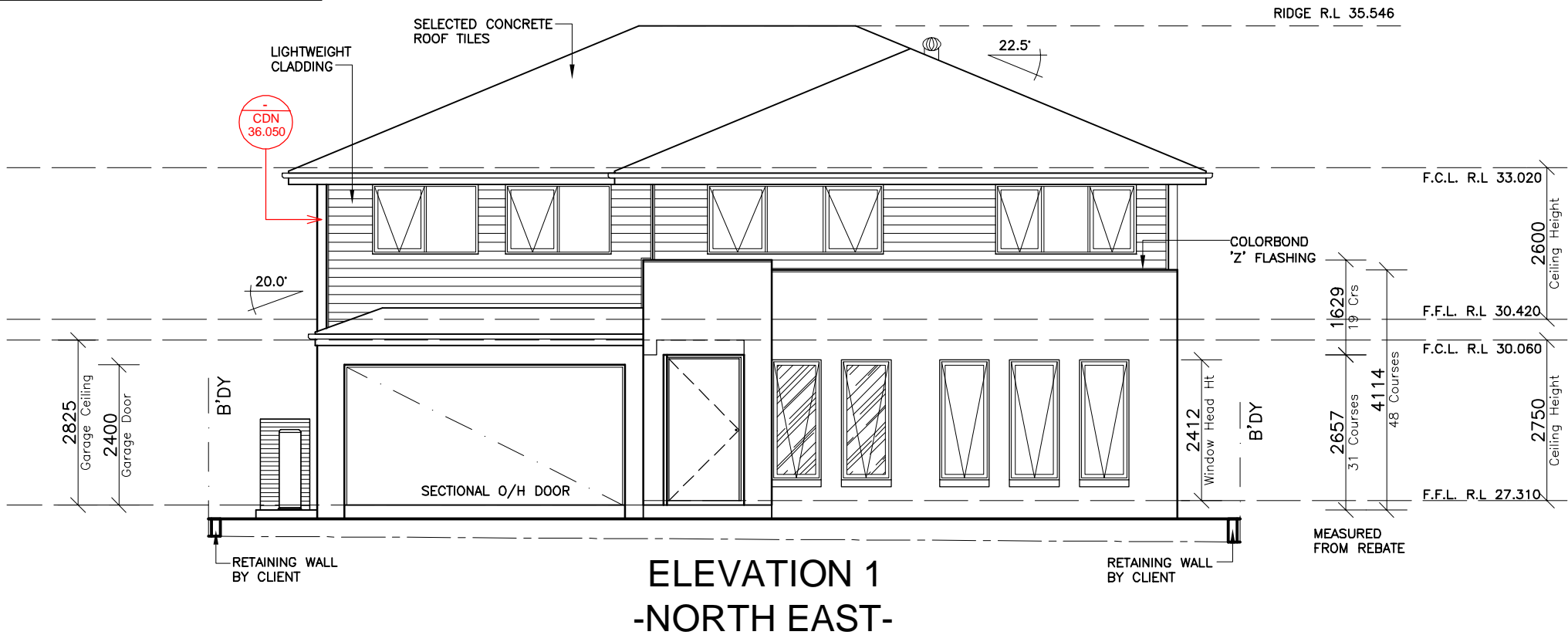
DRAWN: MTK	DATE: 06.02.25	Rev: <b>E</b>
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: <b>4</b>	JOB No: <b>29917539</b>	<b>NSW</b>

SOLAR INCLUSION  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER

NOTE:  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

DENOTES WINDOWS WITH  
SINGLE GLAZED LOW-E  
GLAZING

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

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Classic  
L/H Garage  
  
**LUXE**

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**Mrs. CHIEM**  
  
SITE ADDRESS:  
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**DA DRAWINGS**

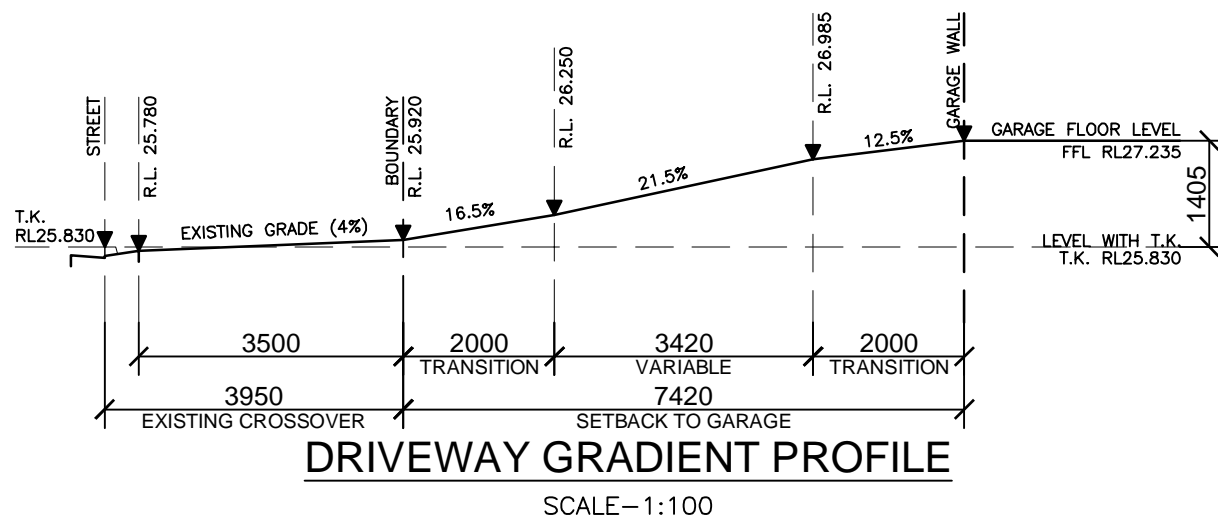
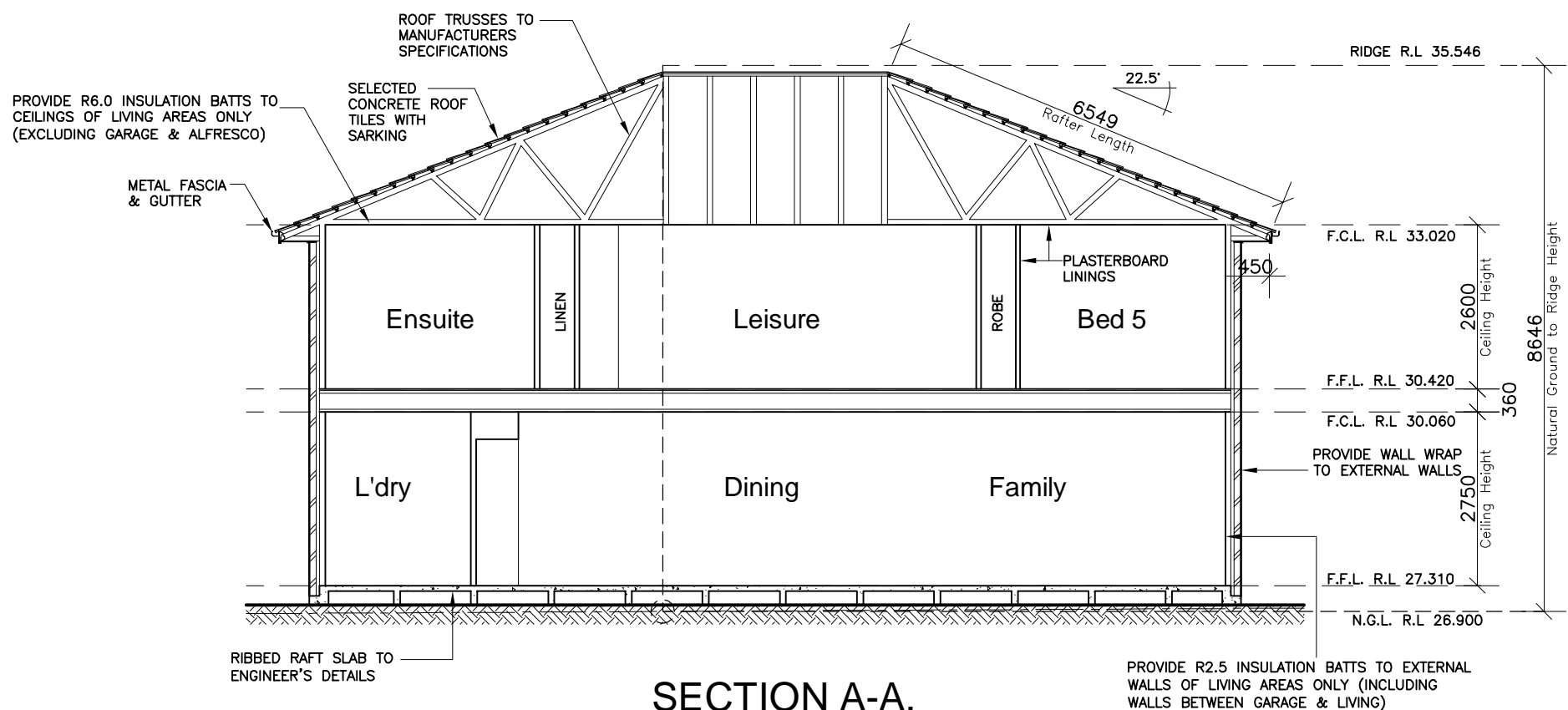
DRAWN: MTK	DATE: 06.02.25	Rev: <b>E</b>
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: <b>5</b>	JOB No: <b>29917539</b>	<b>NSW</b>

**NOTE:**  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

Architectural elevation drawing of a single-story house, labeled "ELEVATION 4". The drawing shows a side profile of the house with a gabled roof. Key features include a structural beam, header course, exclusion zone, rangehood exhaust, A/C plumbing, face brickwork, lightweight cladding, solar inverter, and electrical meter. Dimensions are provided for various heights and lengths, such as 2600 for the ceiling height, 2750 for the ceiling height, 1114 for the header course, 120 for the exclusion zone, 3444 for the structural beam, 18' for the header course, 943 for the window head height, 75 for the window sill height, 2412 for the window head height, and 2825 for the garage ceiling height. The drawing is measured from the alfresco slab.

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SHEET: 6	JOB No: 29917539	NSW

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND & FIRST FLOOR TO BE  
2340mm(H)



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

BL No. 2298C  
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Clarendon Homes (NSW) P/L  
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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:

**SARATOGA 44**

Classic  
L/H Garage

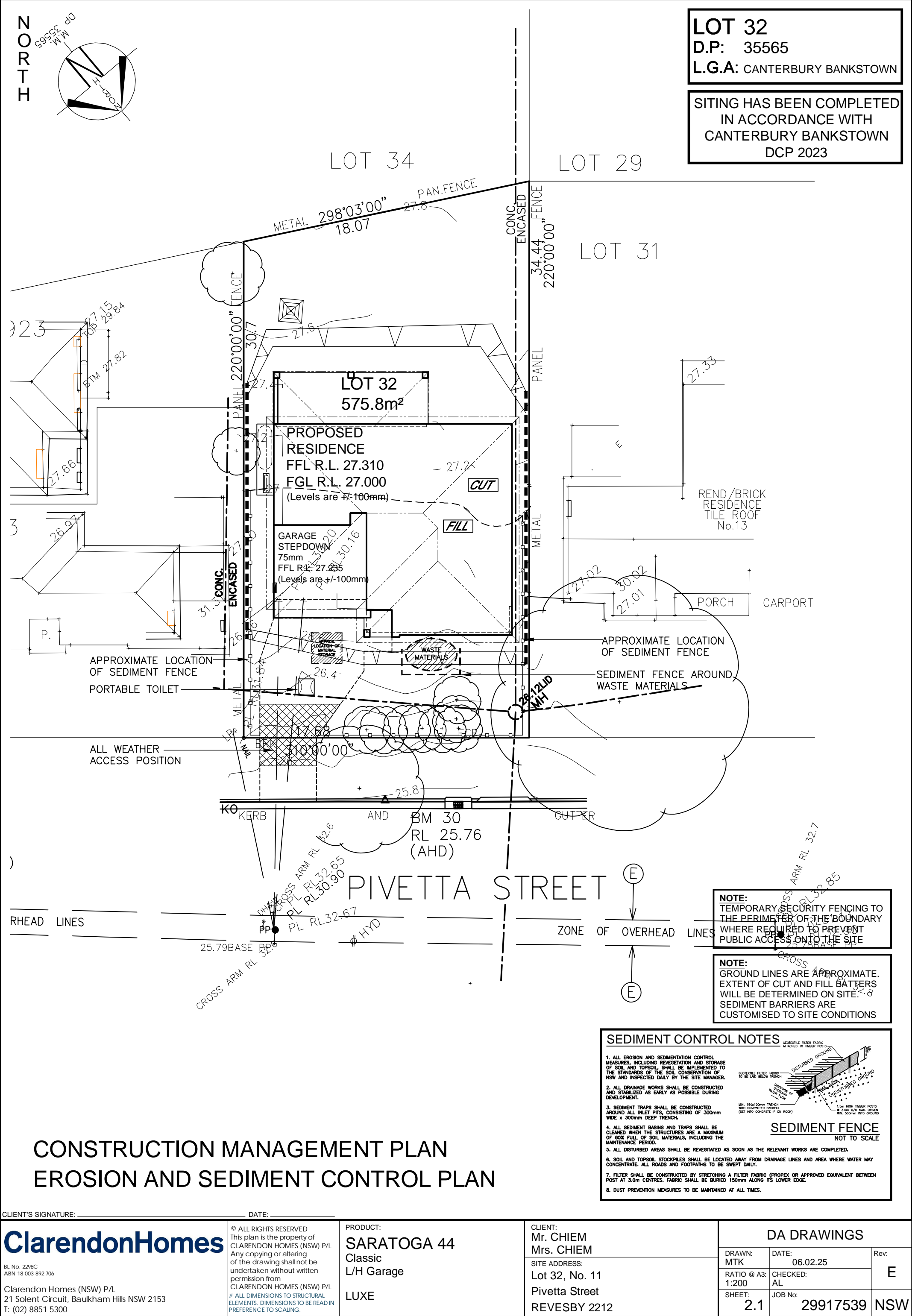
LUXE

CLIENT:	Mr. CHIEM Mrs. CHIEM
SITE ADDRESS:	Lot 32, No. 11 Pivetta Street REVESBY 2212

DA DRAWINGS

DRAWN: MTK	DATE: 06.02.25	Rev:  E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 7	JOB No: 29917539	

NSW



LOT 32  
D.P: 35565  
L.G.A: CANTERBURY BANKSTOWN

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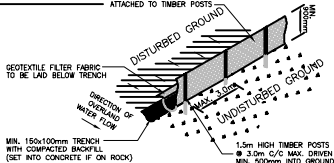
CONSTRUCTION MANAGEMENT PLAN  
EROSION AND SEDIMENT CONTROL PLAN

**NOTE:**  
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

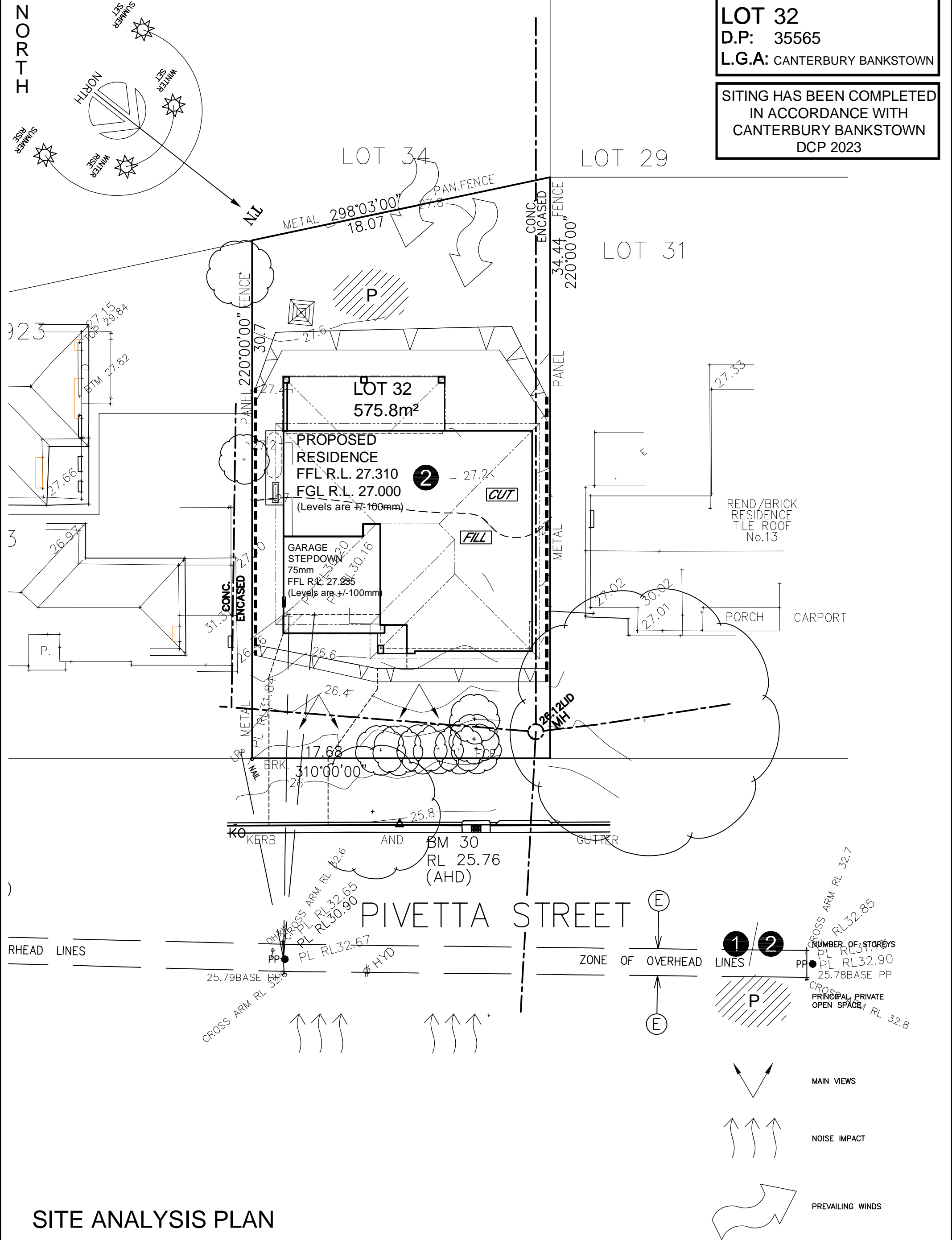
**NOTE:**  
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



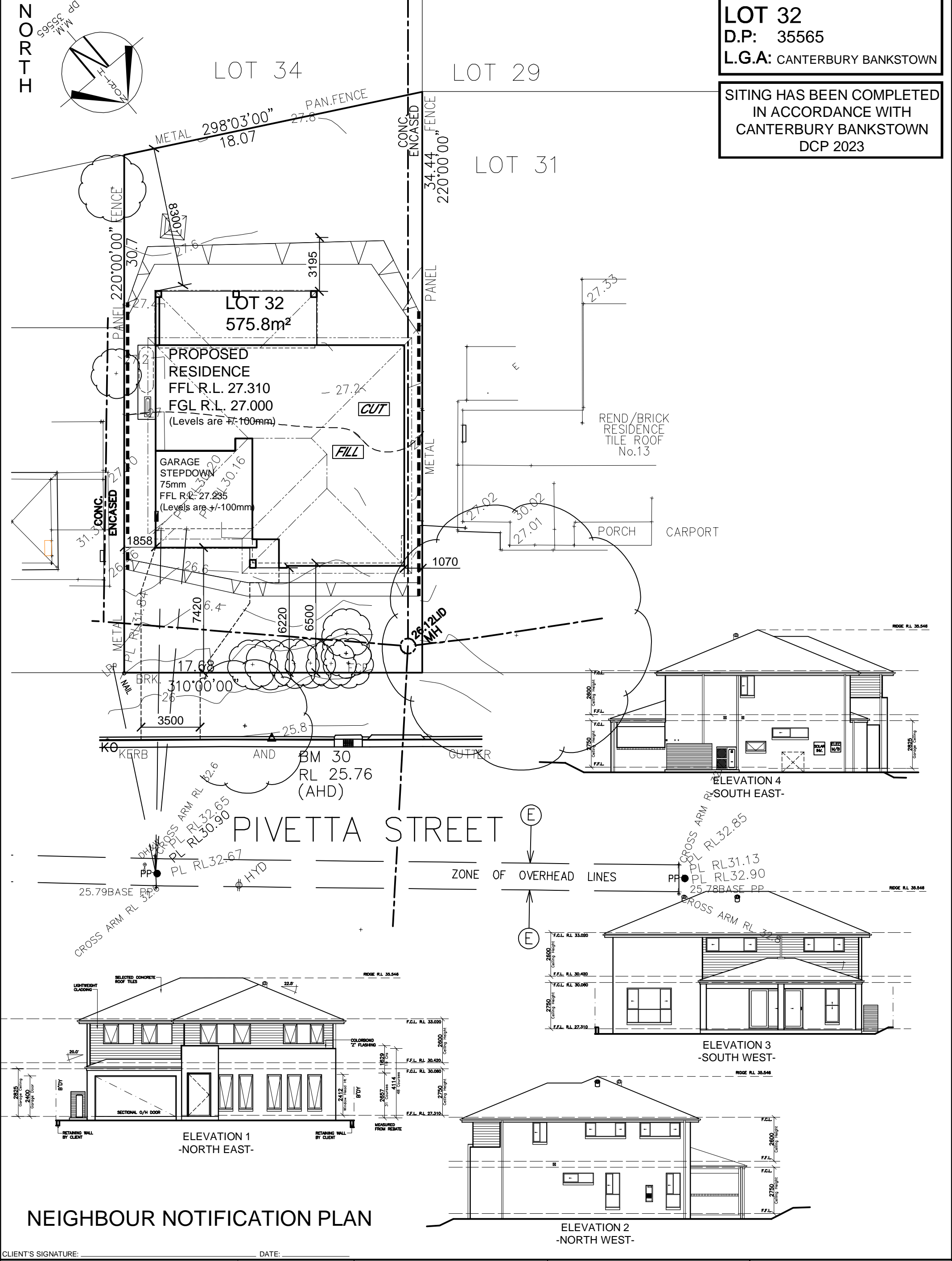
SEDIMENT FENCE  
NOT TO SCALE



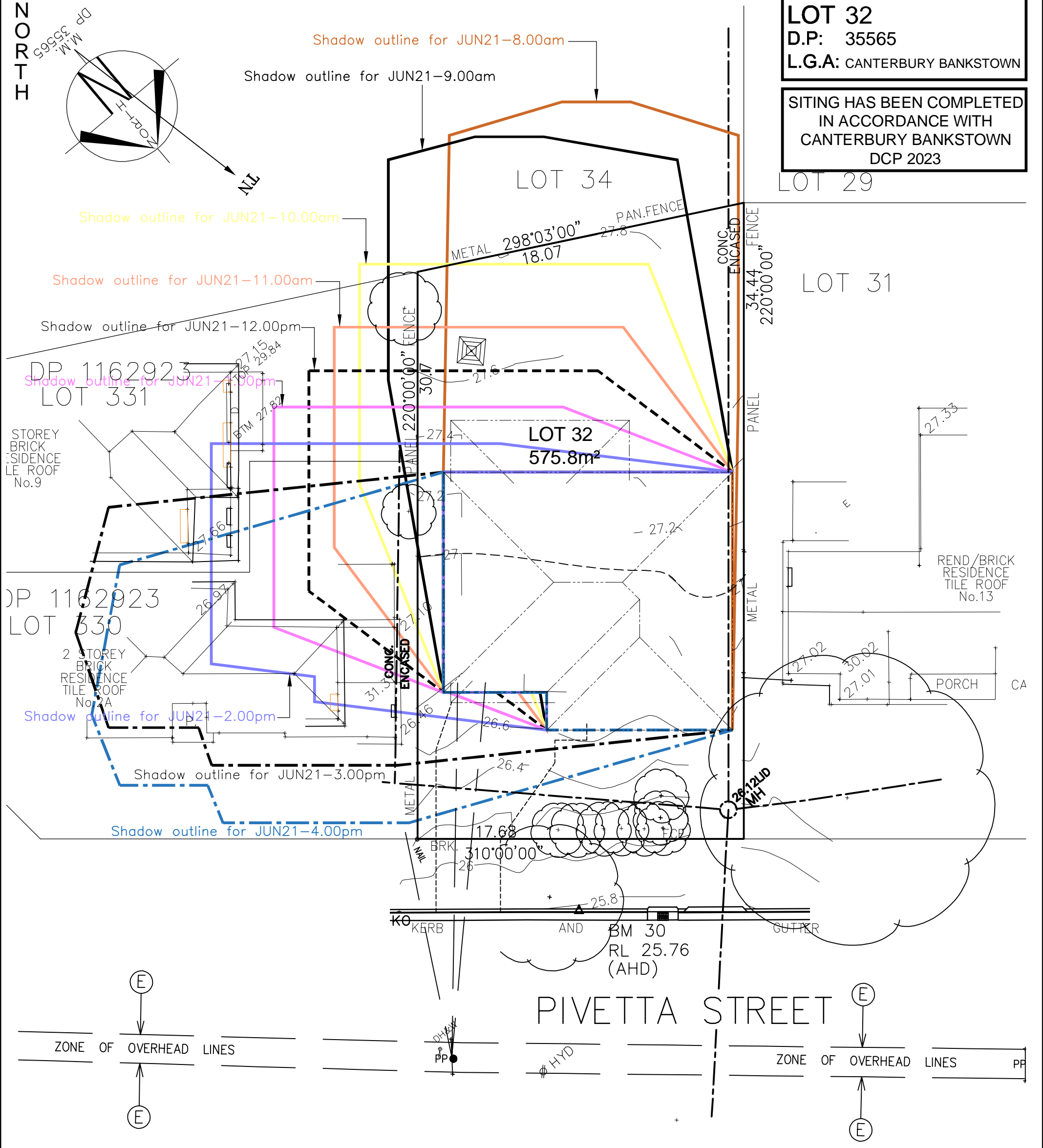
LOT 32  
D.P: 35565  
L.G.A: CANTERBURY BANKSTOWN

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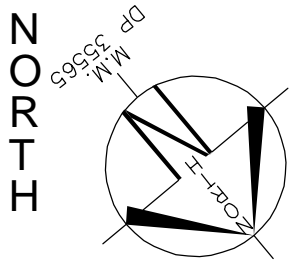
CLIENT'S SIGNATURE: _____ DATE: _____		CLARENDOHOMES		PRODUCT: SARATOGA 44 Classic L/H Garage  LUXE		CLIENT: Mr. CHIEM Mrs. CHIEM SITE ADDRESS: Lot 32, No. 11 Pivetta Street REVESBY 2212		DA DRAWINGS		
BL No. 2298C ABN 18 003 892 706  Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDOHOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDOHOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.						DRAWN: MTK RATIO @ A3: 1:200 SHEET: 2.2		DATE: 06.02.25 CHECKED: AL JOB No: 29917539
										Rev: E NSW



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			<div>SITE ADDRESS: Lot 32, No. 11 Pivetta Street REVESBY 2212</div>	<div>DRAWN: MTK</div>	<div>DATE: 06.02.25</div>	Rev: <div>E</div>
				<div>RATIO @ A3: 1:200</div>	<div>CHECKED: AL</div>	
				<div>SHEET: 2.3</div>	<div>JOB No: 29917539</div>	NSW



SHADOW DIAGRAM @ 21st JUNE

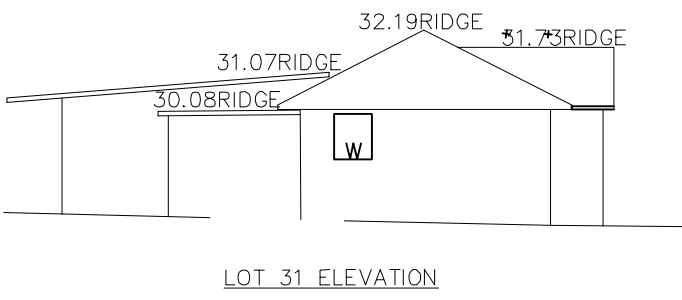
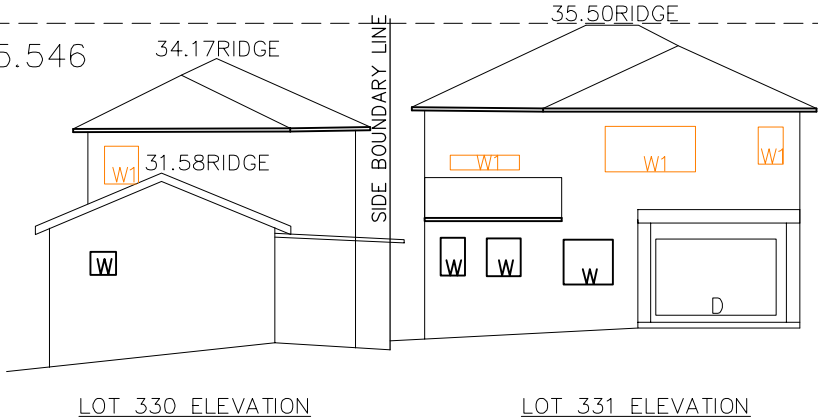


LOT 32  
D.P: 35565  
L.G.A: CANTERBURY BANKSTOWN

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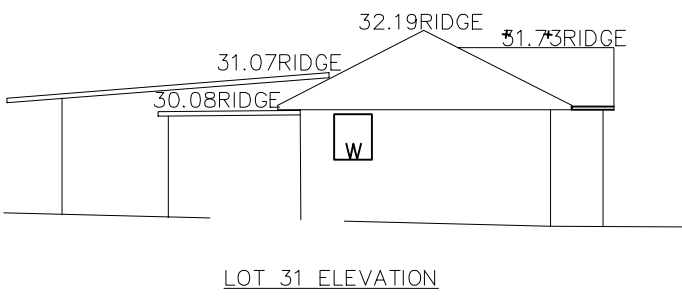
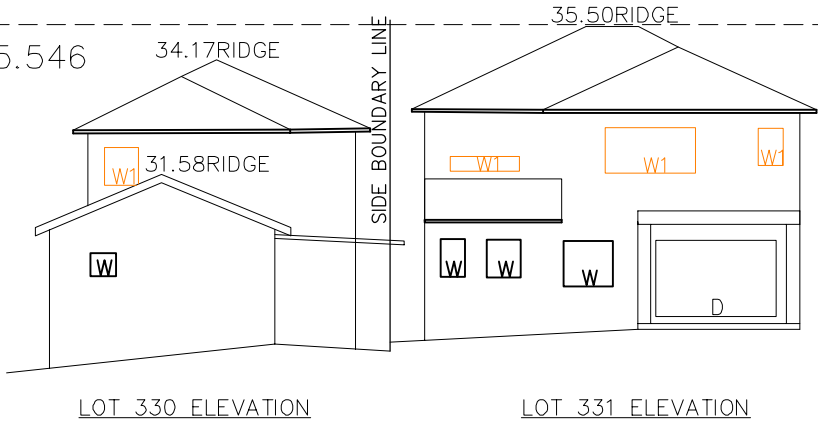
RIDGE R.L 35.546



## Shadow outline for JUN22-8.00am

PROPOSED

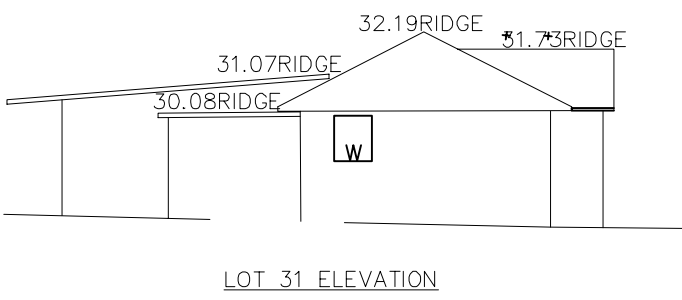
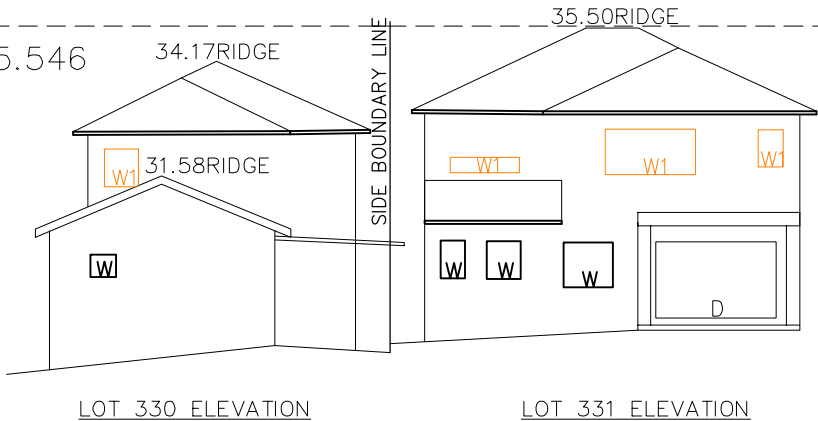
RIDGE R.L 35.546



## Shadow outline for JUN22-9.00am

PROPOSED

RIDGE R.L 35.546



## Shadow outline for JUN22-10.00am

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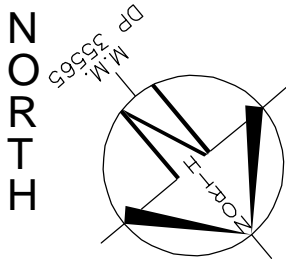
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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
**SARATOGA 44**  
Classic  
L/H Garage  
  
**LUXE**

CLIENT:  
**Mr. CHIEM**  
**Mrs. CHIEM**  
  
SITE ADDRESS:  
**Lot 32, No. 11**  
**Pivetta Street**  
**REVESBY 2212**

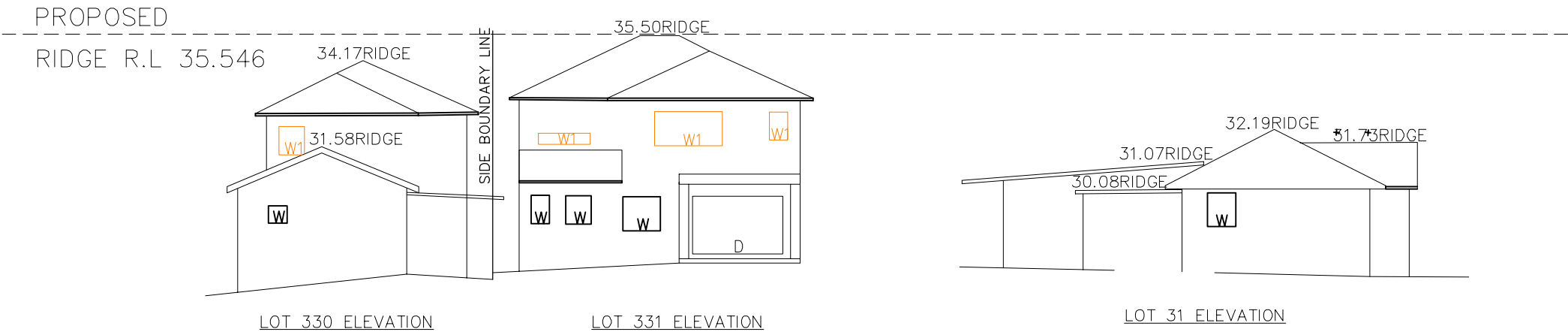
DA DRAWINGS

DRAWN: MTK	DATE: 06.02.25	Rev: <b>E</b>
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: <b>2.5</b>	JOB No: <b>29917539</b>	<b>NSW</b>

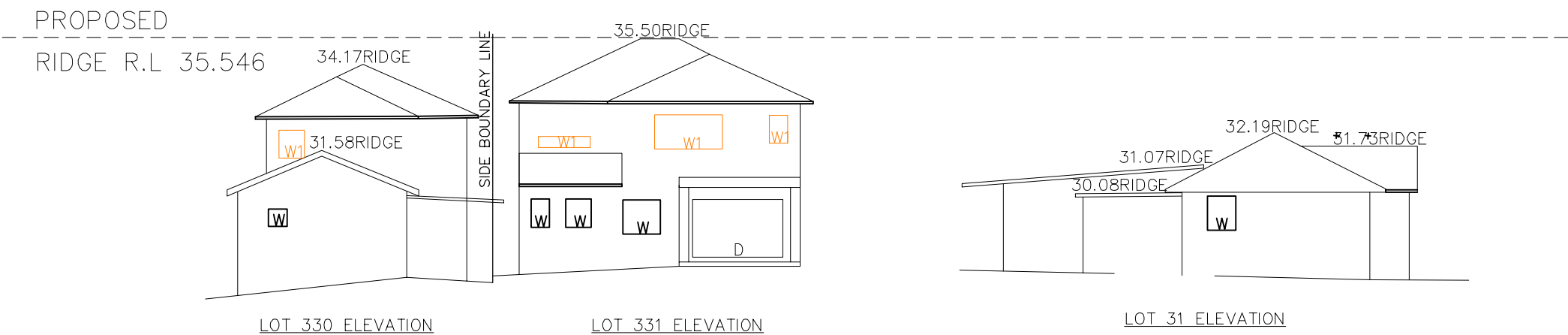


**LOT 32**  
**D.P:** 35565  
**L.G.A:** CANTERBURY BANKSTOWN

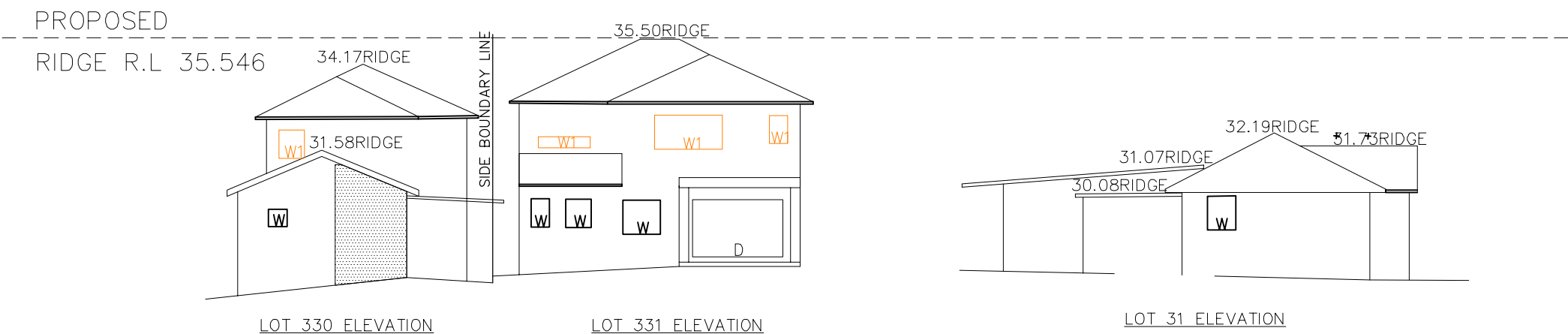
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# Shadow outline for JUN22-11.00am



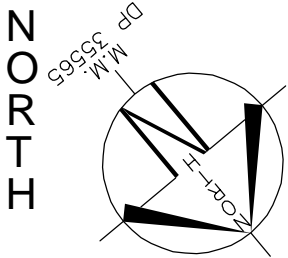
# Shadow outline for JUN22-12.00pm



# Shadow outline for JUN22-1.00pm

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				DRAWN: MTK	DATE: 06.02.25	Rev: <b>E</b>
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				SHEET: <b>2.6</b>	JOB No: <b>29917539</b>	NSW

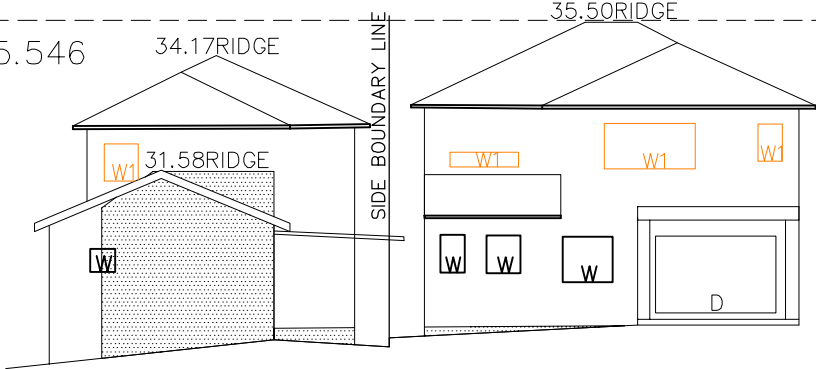


**LOT 32**  
**D.P:** 35565  
**L.G.A:** CANTERBURY BANKSTOWN

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DCP 2023**

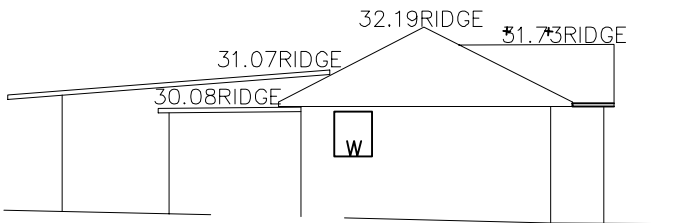
PROPOSED

RIDGE R.L 35.546



LOT 330 ELEVATION

LOT 331 ELEVATION

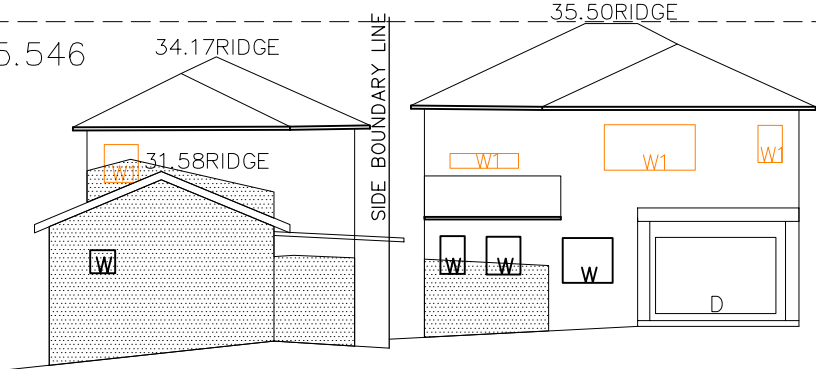


LOT 31 ELEVATION

## Shadow outline for JUN22-2.00pm

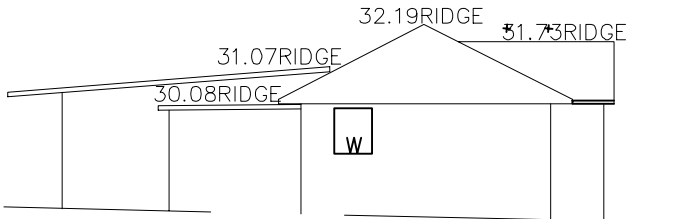
PROPOSED

RIDGE R.L 35.546



LOT 330 ELEVATION

LOT 331 ELEVATION

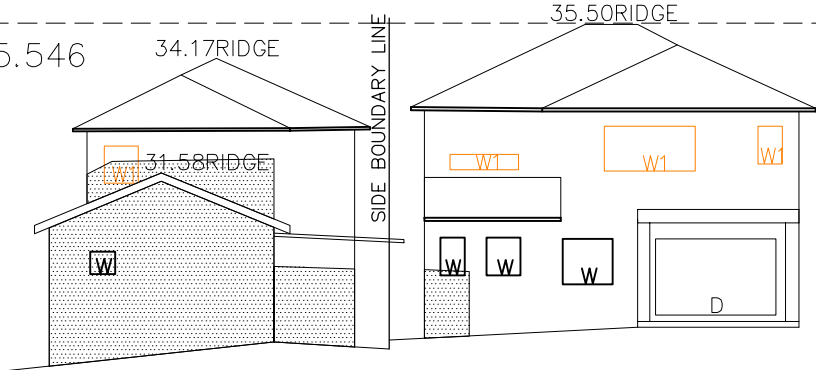


LOT 31 ELEVATION

## Shadow outline for JUN22-3.00pm

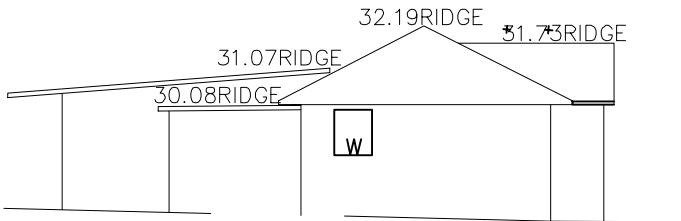
PROPOSED

RIDGE R.L 35.546



LOT 330 ELEVATION

LOT 331 ELEVATION



LOT 31 ELEVATION

## Shadow outline for JUN22-4.00pm

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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ABN 18 003 892 706

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
**SARATOGA 44**  
**Classic**  
**L/H Garage**  
  
**LUXE**

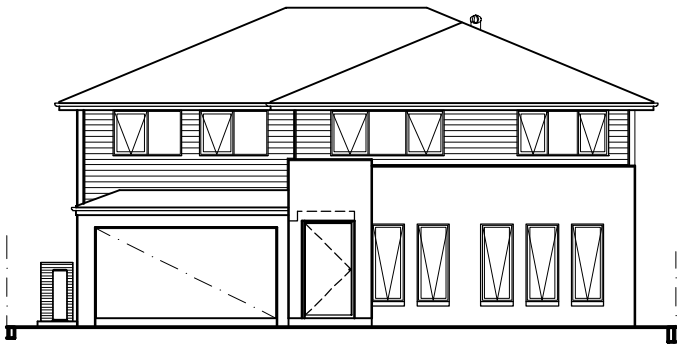
CLIENT:  
**Mr. CHIEM**  
**Mrs. CHIEM**  
  
SITE ADDRESS:  
**Lot 32, No. 11**  
**Pivetta Street**  
**REVESBY 2212**

**DA DRAWINGS**

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RATIO @ A3: 1:200	CHECKED: AL	
SHEET: <b>2.7</b>	JOB No: <b>29917539</b>	<b>NSW</b>

LOT 32  
D.P: 35565  
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DCP 2023



No. 2A

No. 11

No. 13

VIEW FROM  
PIVETTA STREET

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				DRAWN:	DATE:	Rev:
				MTK	06.02.25	
				RATIO @ A3:	CHECKED:	E
				1:200	AL	
				SHEET:	JOB No:	NSW
				2.7	29917539	